

# THREE RIVERS HEALTH DEPT.

1110 HILL ST. THREE RIVERS, MI 49093

RENDERING - FOR REFERENCE ONLY



EXISTING PHOTOS - FOR REFERENCE ONLY



## PROJECT NOTES

- CONSTRUCTION MUST COMPLY WITH ALL NATIONAL, STATE, AND LOCAL BUILDING CODES, AS WELL AS ALL LOCAL ORDINANCES.
- DO NOT SCALE DRAWINGS. NOMINAL DIMENSIONS ARE SHOWN. REFER TO DETAILS, NOTES, SPECIFICATIONS AND PARTITION KEY FOR INFORMATION. CONTACT ARCHITECT IF ADDITIONAL INFORMATION IS REQUIRED.
- EXISTING BUILDING INFORMATION WAS OBTAINED FROM THE OWNER AND ADDITIONAL FIELD MEASUREMENTS BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS PRIOR TO COMMENCEMENT OF WORK. DRAWINGS MAY CONTAIN DISCREPANCIES DUE TO CONCEALED CONDITIONS, INACCURACIES IN THE ORIGINAL DRAWINGS, INACCESSIBLE LOCATIONS, UNRECORDED BUILDING ALTERATIONS AND OTHER CONFLICTING INFORMATION. INFORMATION OUTSIDE OF CONTRACT AREA IS RELATIVE AND FOR REFERENCE ONLY. ALWAYS VERIFY FIELD CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCHITECT IF FIELD CONDITIONS CONFLICT SUBSTANTIALLY WITH PROPOSED WORK.
- INSTRUCTIONS FOR BUILDING CONSTRUCTION MAY BE LOCATED IN ANY PART OF THE CONSTRUCTION DRAWINGS. FAILURE OF THE GENERAL CONTRACTOR OR HIS SUB CONTRACTORS AND SUPPLIERS TO SEE INFORMATION IN ANY PART OF THE CONTRACT DOCUMENTS WILL NOT BE A VALID REASON FOR ISSUING A CHANGE ORDER.
- ALL HOLES CREATED FROM ABANDONED DUCT, CONDUIT, ELEC. DEVICES, ETC., WHICH ARE IN VIEW AND ARE NOT SCHEDULED TO BE BOARDED OVER, OR ON A WALL TO BE DEMOLISHED, ARE TO BE FILLED AND PATCHED TO MATCH EXISTING.
- PATCH AND REPAIR ALL EXISTING WALL SURFACES ADJACENT TO NEW WORK AS REQUIRED TO ACHIEVE AN UNINTERRUPTED SURFACE APPEARANCE. PATCH AND REPAIR ALL FLOORING FOR EXISTING BUILDINGS TO ACHIEVE A CONTINUOUS, SMOOTH, AND FLUSH FLOOR SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING REQUIRED TO EXECUTE WORK. THE CONTRACTOR SHALL COORDINATE ALL TEMPORARY CONSTRUCTION WITH THE ARCHITECT AND OWNER TO ASSURE A MINIMUM AMOUNT OF INTERRUPTION WITH THE OWNER'S ACTIVITIES.
- IF THE PROJECT IS A REMODEL, THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL SURFACES NOT BEING REMODELED IN THE PROJECT AND IN THE PATH OF THE CONTRACTORS TRAVEL, SETUP AND/OR PROJECT MATERIAL STORAGE. THE CONTRACTOR MUST RETURN THE AREAS DISTURBED AS REQUIRED FOR ACCESS TO ITS PRE-EXISTING CONDITION.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL LOCAL/REQUIRED PERMITS AND INSPECTIONS.
- ALL SAFETY ISSUES RELATED TO CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH ALL STATE, LOCAL, ENVIRONMENTAL AND LABOR LAWS DURING THE CONSTRUCTION OF THIS PROJECT.
- ALL WORK TO BE GUARANTEED A MINIMUM OF ONE YEAR FROM THE DATE OF OWNER ACCEPTANCE OF WORK, EXCEPT WHERE MANUFACTURER'S GUARANTEE IS LONGER.
- IF DISCREPANCIES OCCUR BETWEEN DRAWINGS AND FIELD CONDITIONS CONTACT THE ARCHITECT TO VERIFY HOW TO PROCEED BEFORE DOING SO.
- SEE T001 FOR ADDITIONAL PROJECT NOTES, MOUNTING HEIGHTS, AND SYMBOLS
- 3D VIEWS AND RENDERINGS ON THIS PAGE AND THROUGHOUT THE SET ARE FOR REFERENCE ONLY. VERIFY ALL CONSTRUCTION DETAILS THROUGHOUT THE ENTIRE SET OF DOCUMENTS
- THE PROJECT SHALL CONFORM TO UNDERWRITERS LABORATORY FIRE RESISTANCE DIRECTORY AND BUILDING MATERIALS DIRECTORY.
- ANY MATERIAL SUBSTITUTIONS TO A LISTED UL DESIGN NUMBER SHALL BE COORDINATED BY THE CONSTRUCTION MANAGER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL SUPPLIER FOR COMPLIANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPROVALS - FOR ANY MATERIALS SUBSTITUTION IN THE REQUIRED UL DESIGN ASSEMBLY - BY THE FIRE MARSHAL AND BUILDING INSPECTOR HAVING JURISDICTION PRIOR TO ACCEPTANCE.
- FOR ANY CHANGE OF UL DESIGN NUMBER, OR ANY CHANGE IN MATERIAL(S) IN A UL DESIGN ASSEMBLY, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL OTHER RELATED MATERIALS OR ASSEMBLIES AFFECTED BY THE CHANGE OF MATERIAL OR UL DESIGN NUMBER ASSEMBLY.
- PROVIDE COMPLETE UL APPROVED THROUGH-PENETRATION FIRESTOP SYSTEMS AT ALL RATED WALL PENETRATIONS.
- PROVIDE FIRESTOPPING AS REQUIRED AT ALL OPENINGS FOR PLUMBING, CONDUIT, DUCTWORK, ETC AT FIRE RATED ASSEMBLIES.
- REFER TO THE FLOOR PLANS FOR IDENTIFICATION OF ALL FIRE AND SMOKE-RATED PARTITIONS.

## PROJECT DESCRIPTION

THE EXISTING HEALTH DEPARTMENT IS UNDERGOING AN EXTERIOR RENOVATION. THE EXTERIOR RENOVATION IS TO PROVIDE A MORE DURABLE

## DRAWING LIST

SHEET NUMBER	DRAWING TITLE	5/16/2022 - PERMIT SET	5/16/2022 - PERMIT SET #2
00	GENERAL		
T000	TITLE SHEET	X	X
T001	RENDERINGS	X	X
01	CIVIL		
C100	ARCHITECTURAL SITE PLAN	X	X
02	ARCHITECTURAL		
A100	EXISTING FLOOR PLANS	X	X
A200	ROOF PLAN	X	X
A300	EXTERIOR ELEVATIONS	X	X
A301	EXTERIOR ELEVATIONS	X	X
A400	WALL SECTIONS	X	X
Grand total: 8			



**ARCHITECT**  
Driven Design Studio PLLC  
117 West Michigan Avenue  
Baffle Creek, MI 49017  
(269) 753-8040  
cody@drivendesignstudio.com

**OWNER**  
Three Rivers Health Department  
1110 Hill Street  
Three Rivers, MI  
(269) 273-2161

**CONSTRUCTION MANAGER/GC**  
Johnson Builders, Inc  
Allegan, MI

**ENGINEER**

**ENGINEER**

**ENGINEER**

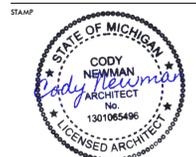
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THREE RIVERS HEALTH DEPT.  
**PROJECT ADDRESS**  
1110 HILL ST, THREE RIVERS, MI 49093  
**CLIENT**  
THREE RIVERS HEALTH DEPARTMENT

**ISSUE**  
CONSTRUCTION DOCUMENTS

**REVISION**

**DRAWN BY** CMN  
**DATE** 5/31/2022 5:15:24 AM  
**SCALE** 1/2" = 1'-0"



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2022.053

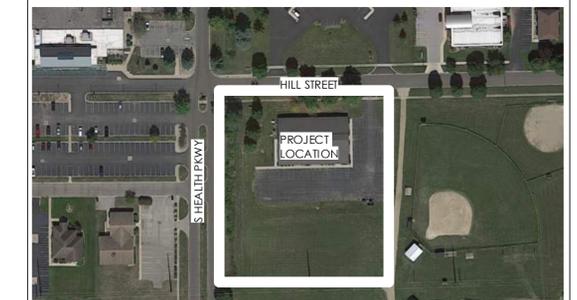
**TITLE SHEET**  
**T000**

## ZONING MAP

ZONING - B-2 GENERAL BUSINESS



## AREA MAP





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RENDERINGS

**T001**

**GENERAL NOTES**

- EXISTING BUILDING TO REMAIN ON THE EXISTING SITE. THE SITE PLAN PROVIDED IS FOR REFERENCE ONLY. THERE ARE NO SITE CHANGES AS PART OF THIS PROJECT. THE ONLY CHANGES TO THIS PROJECT ARE TO THE EXTERIOR OF THE BUILDING.

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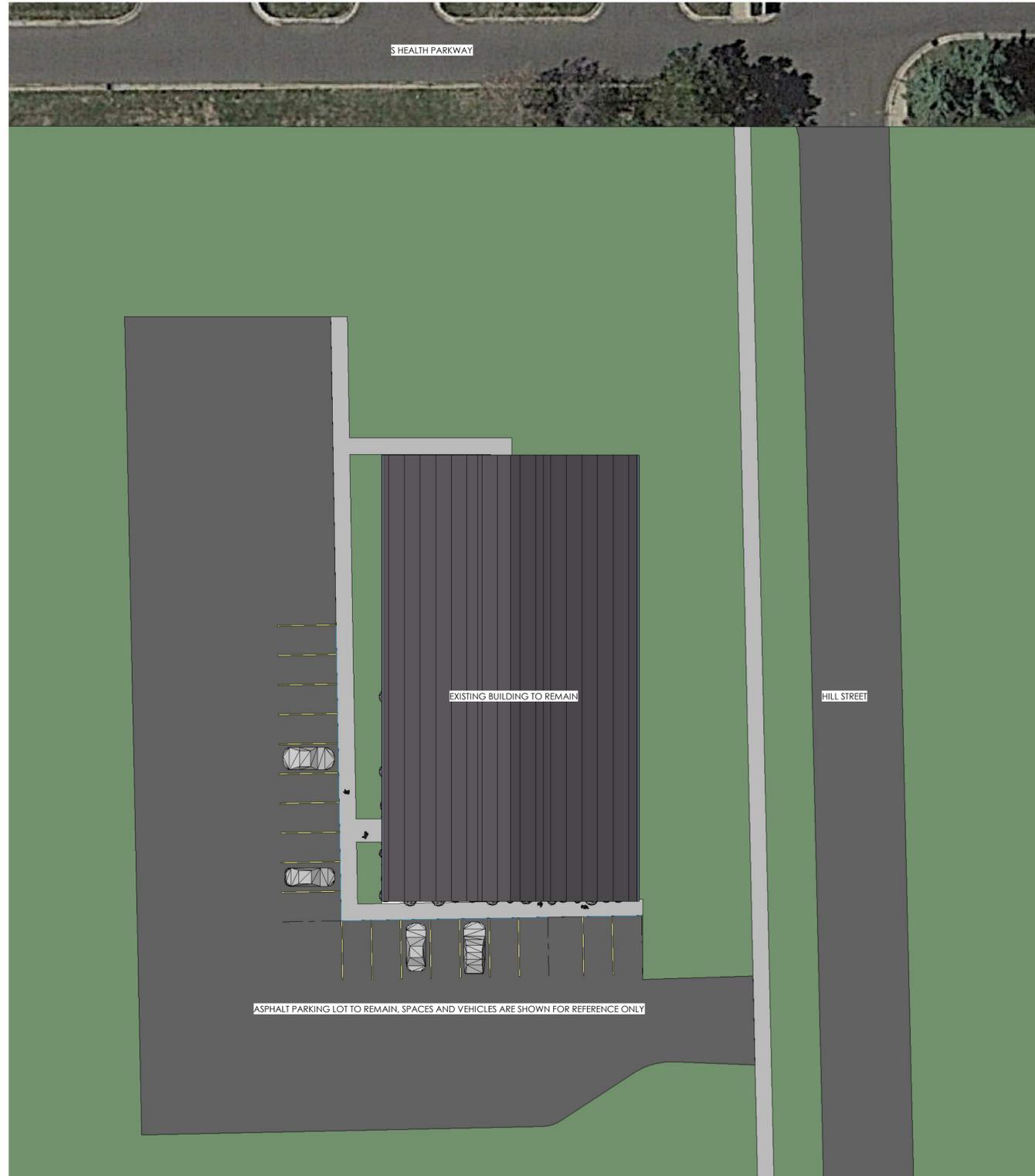
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ARCHITECTURAL SITE PLAN

**C100**

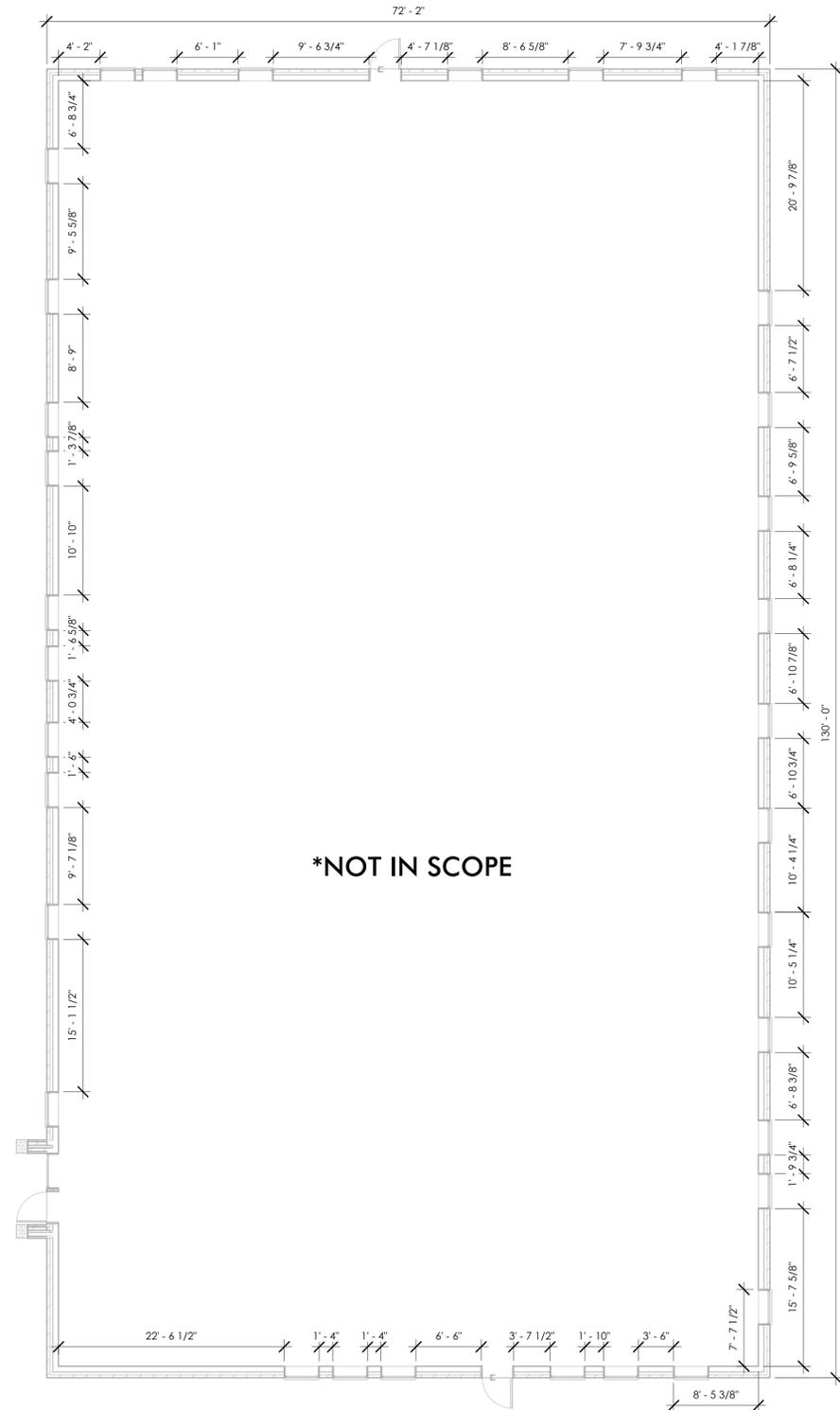


**AREA MAP**



**GENERAL NOTES**

EXISTING PLANS AND DIMENSIONS ARE SHOWN FOR REFERENCE ONLY



**\*NOT IN SCOPE**

**1 FIRST FLOOR EXISTING PLAN**  
 A100 1/8" = 1'-0"

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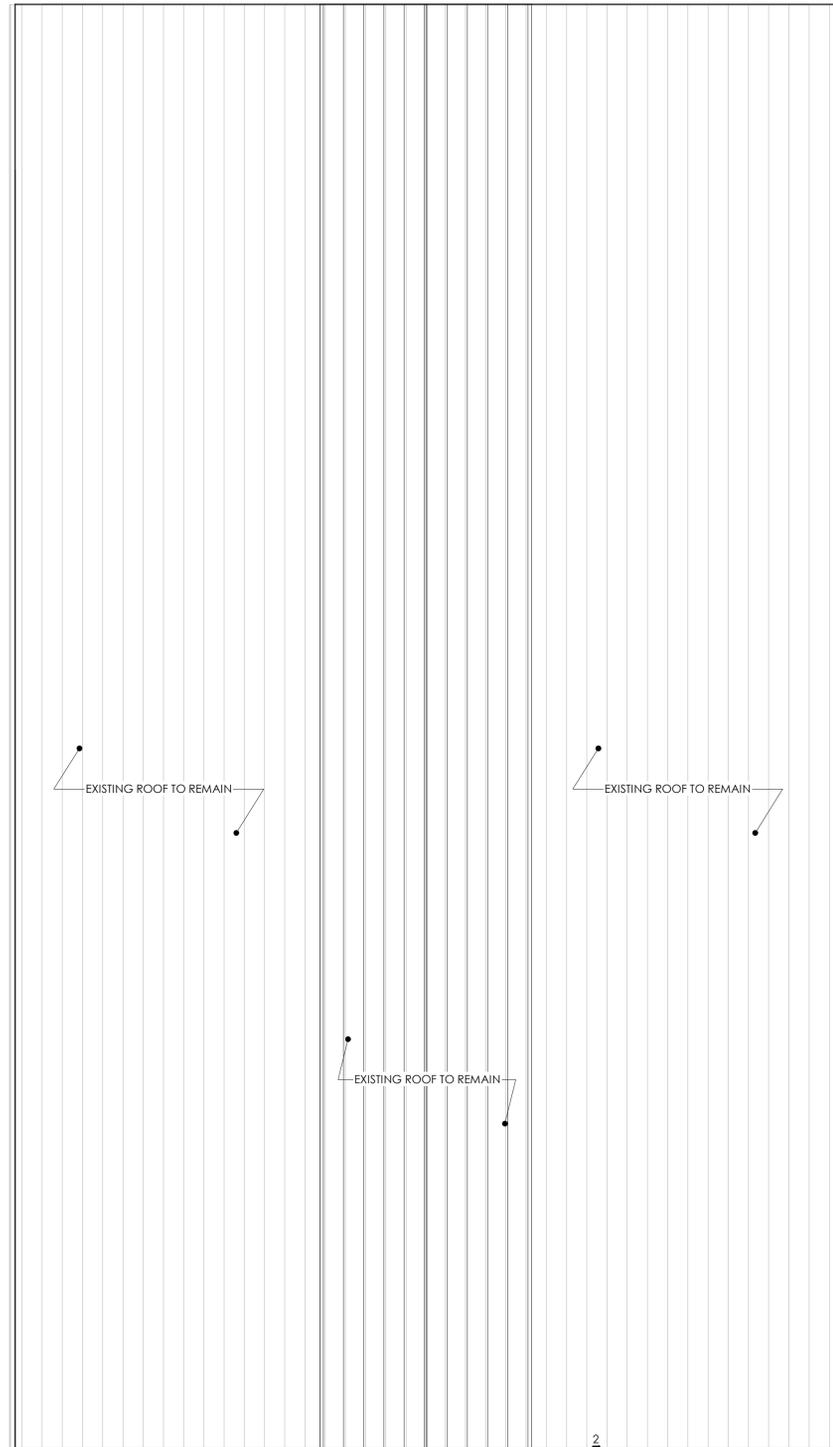
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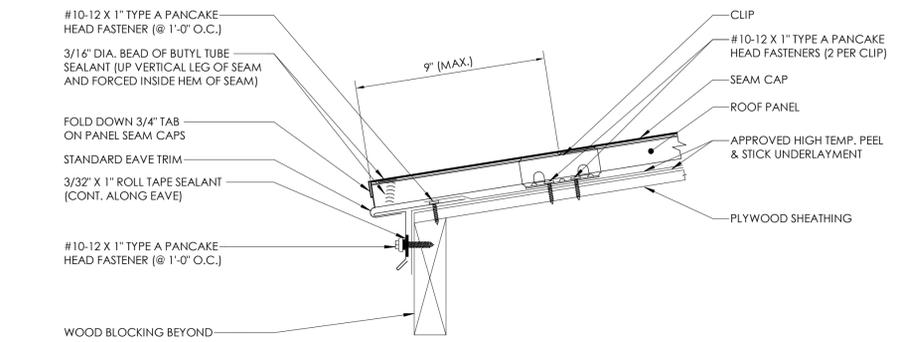
**EXISTING FLOOR PLANS**

**A100**

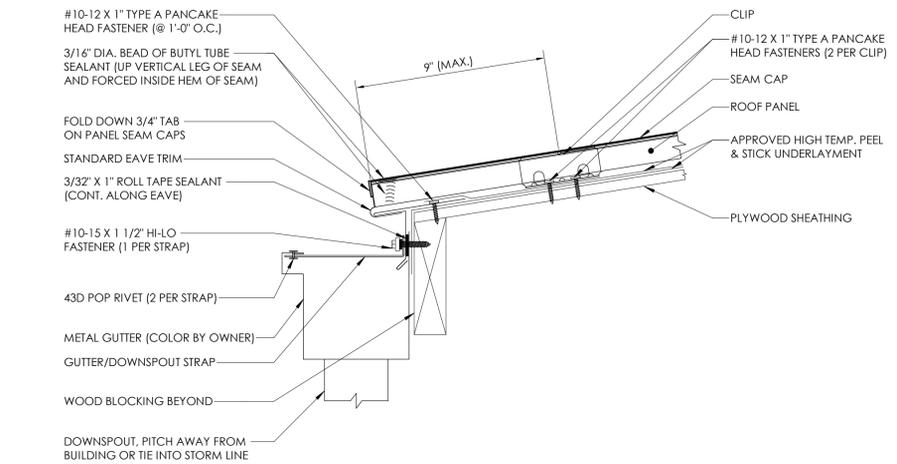
**\*ROOF DETAILS ARE SHOWN FOR FUTURE ROOF REPLACEMENT, ROOF TO BE REPLACED WITH A METAL ROOF IN THE FUTURE, NOT IN THE SCOPE OF THIS PROJECT**



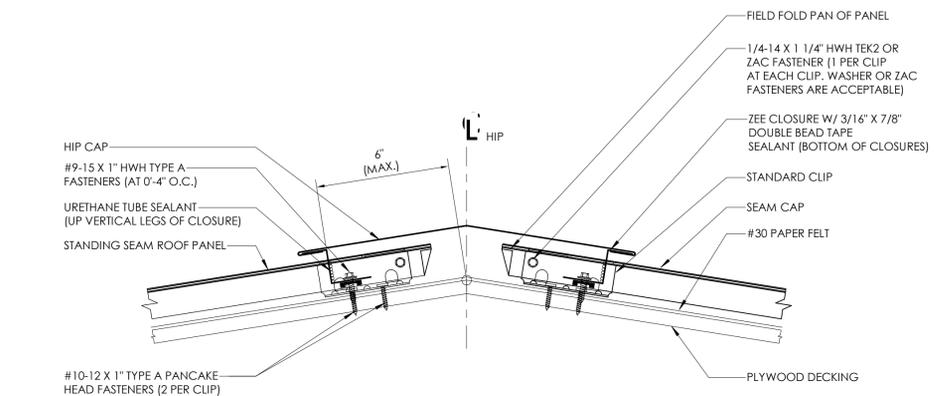
**1 ROOF PLAN**  
 A200 1/8" = 1'-0"



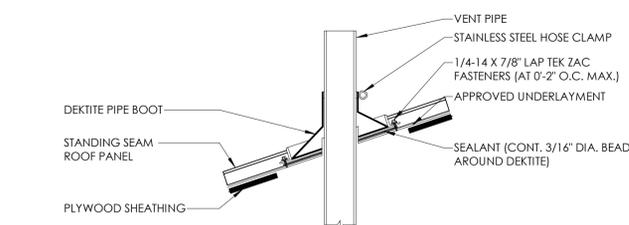
**2 EAVE DETAIL**  
 A200 3" = 1'-0"



**3 EAVE DETAIL GUTTER**  
 A200 3" = 1'-0"



**4 HIP DETAIL**  
 A200 3" = 1'-0"



**5 PIPE PENETRATION**  
 A200 1 1/2" = 1'-0"

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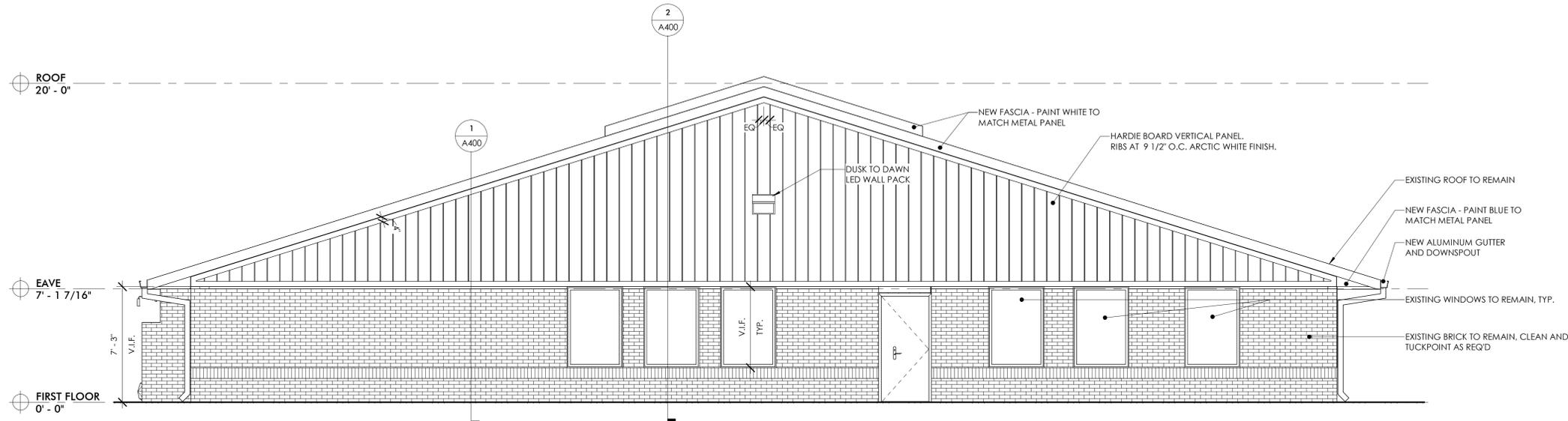
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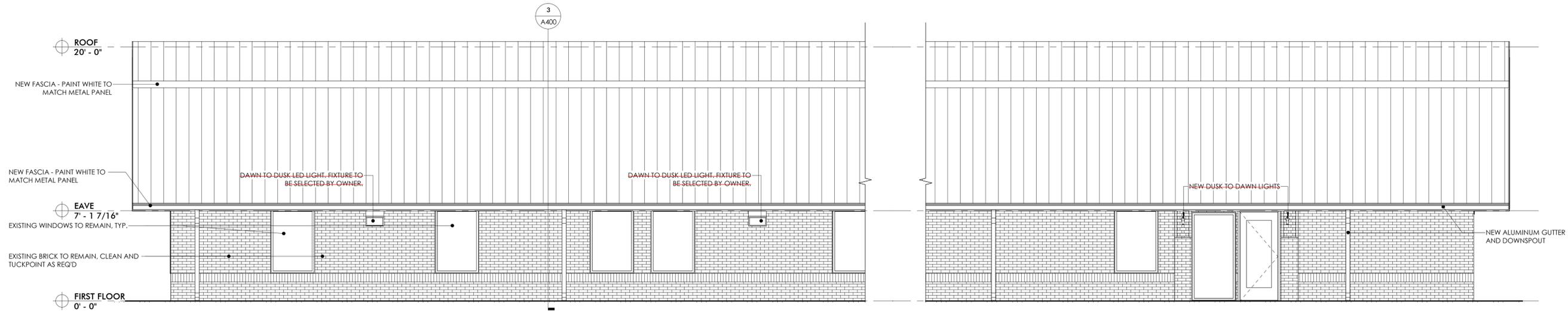
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**ROOF PLAN**  
**A200**



**2 SOUTH ELEVATION**  
 A300 1/4" = 1'-0"



**4 WEST ELEVATION**  
 A300 1/4" = 1'-0"

**EXTERIOR ELEVATION SYMBOL LEGEND**

 CMU	 METAL ROOFING
 BRICK	 ASPHALT ROOFING
 SIDING / METAL SIDING	

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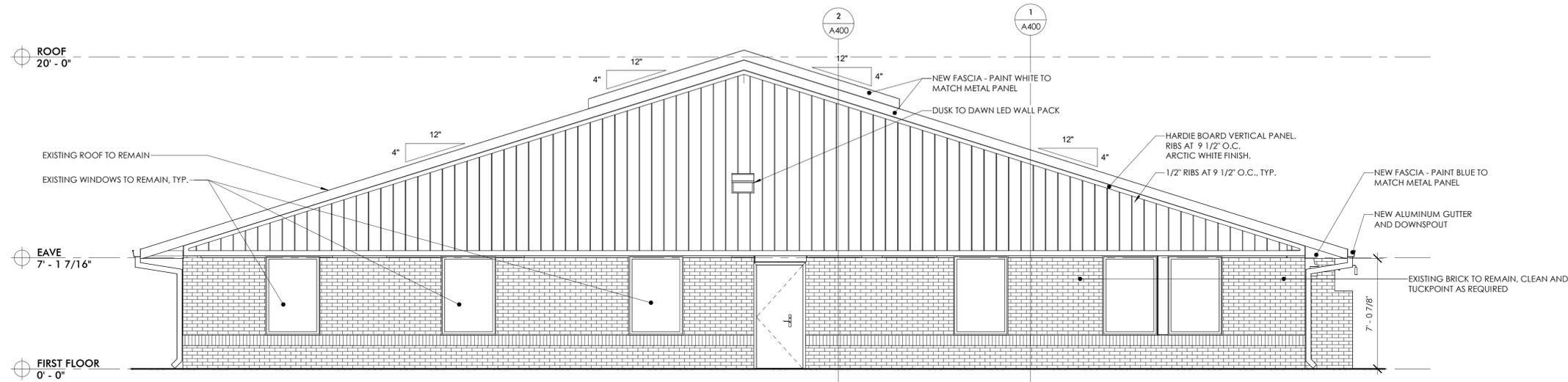
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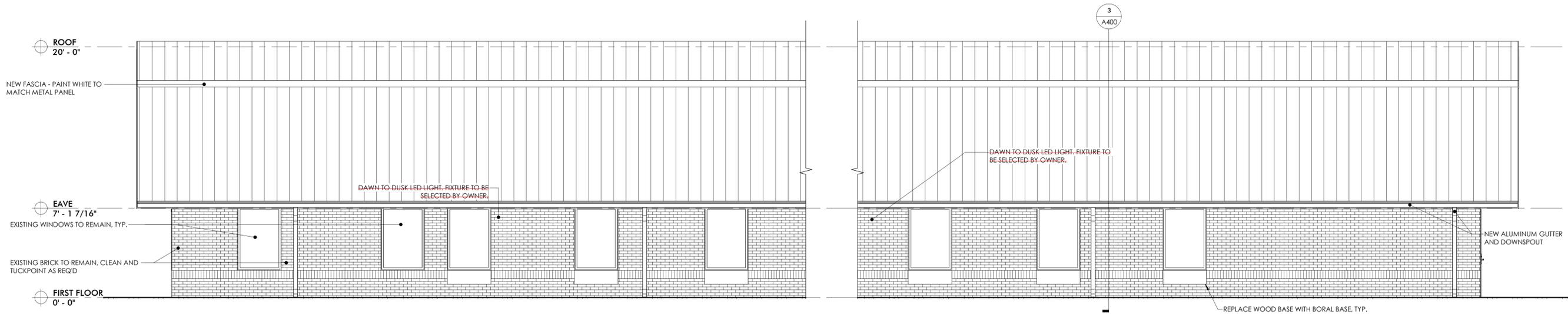
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**EXTERIOR ELEVATIONS**  
**A300**



**2 NORTH ELEVATION**  
 A301 1/4" = 1'-0"



**1 EAST ELEVATION**  
 A301 1/4" = 1'-0"

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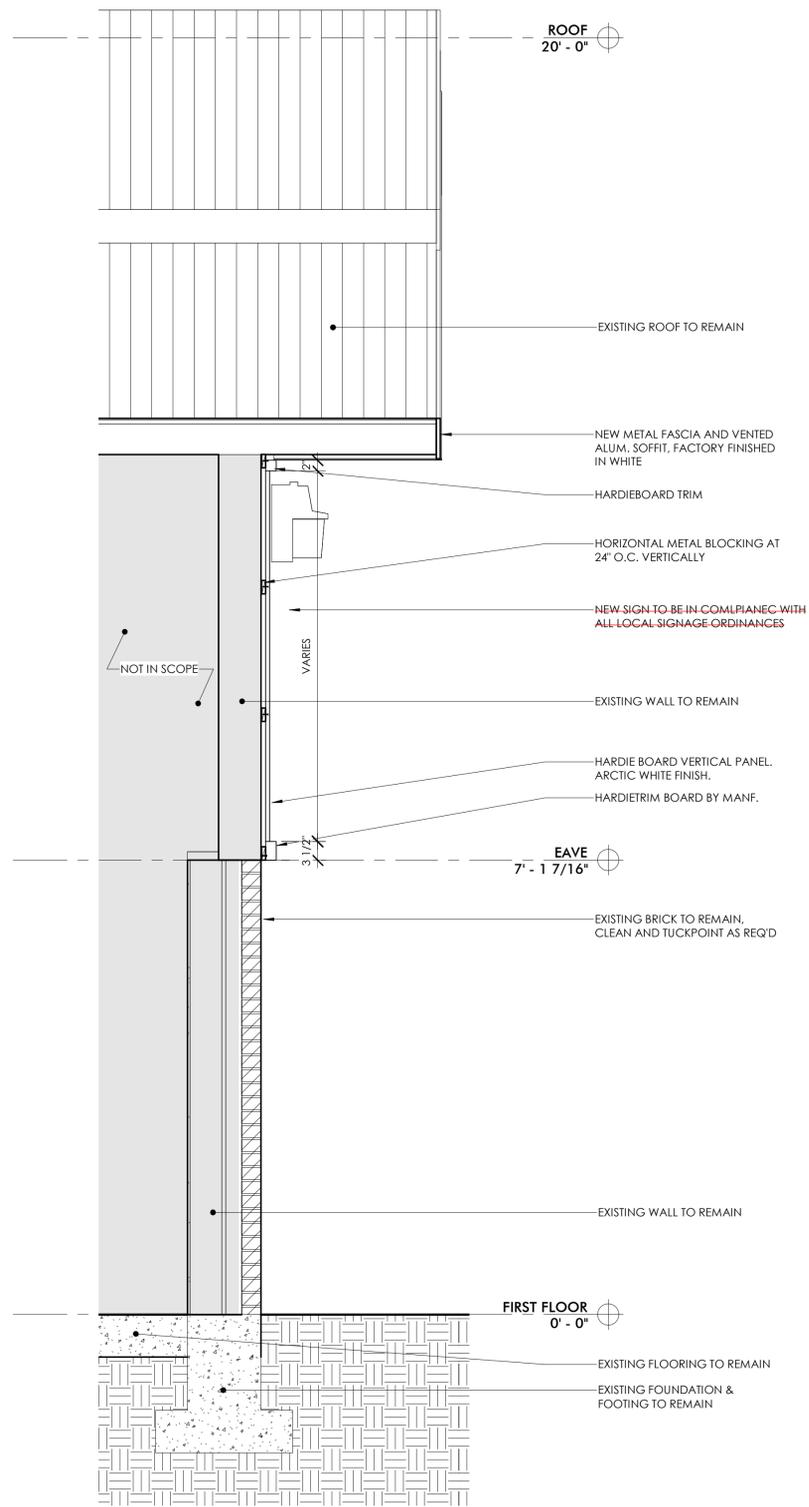
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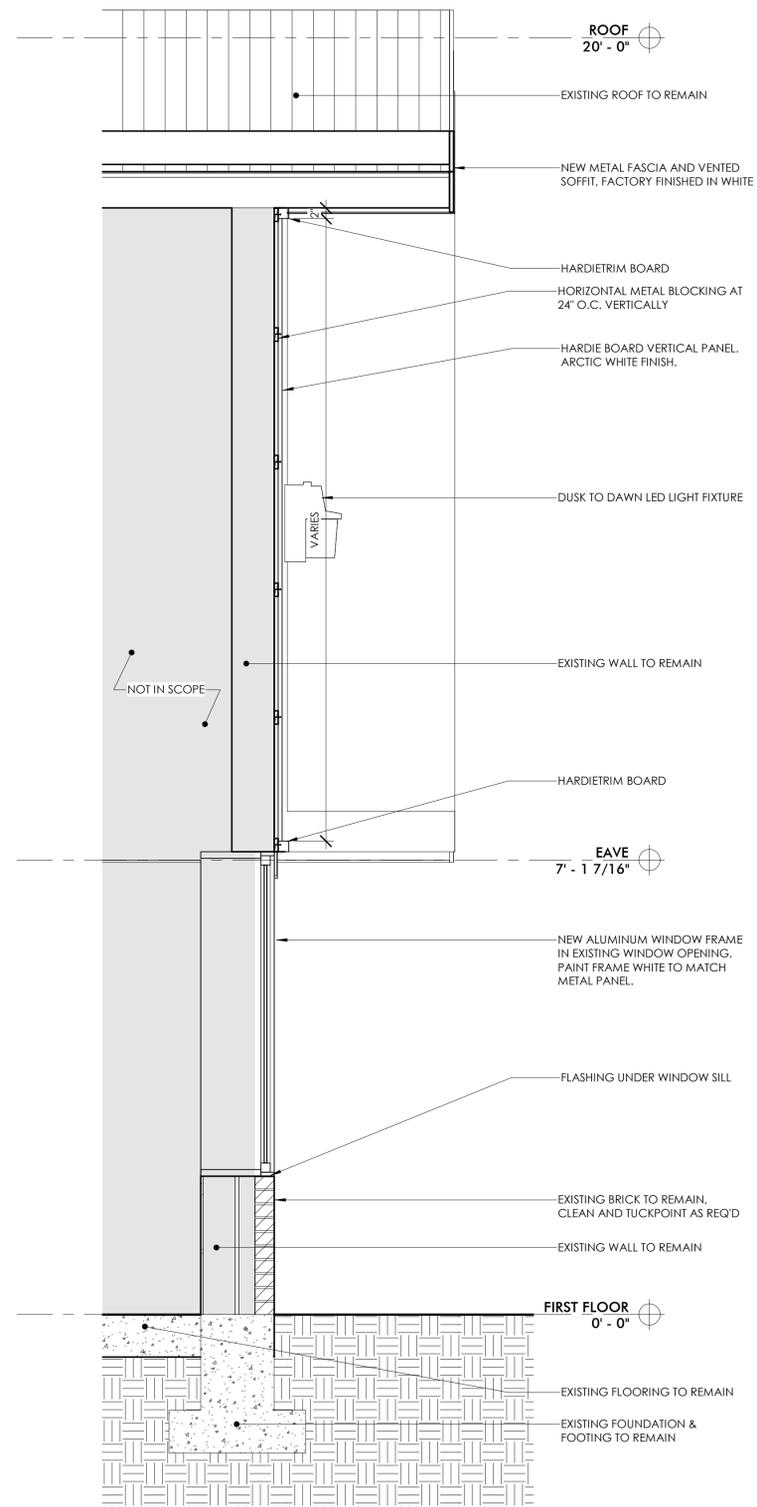
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**EXTERIOR ELEVATIONS**

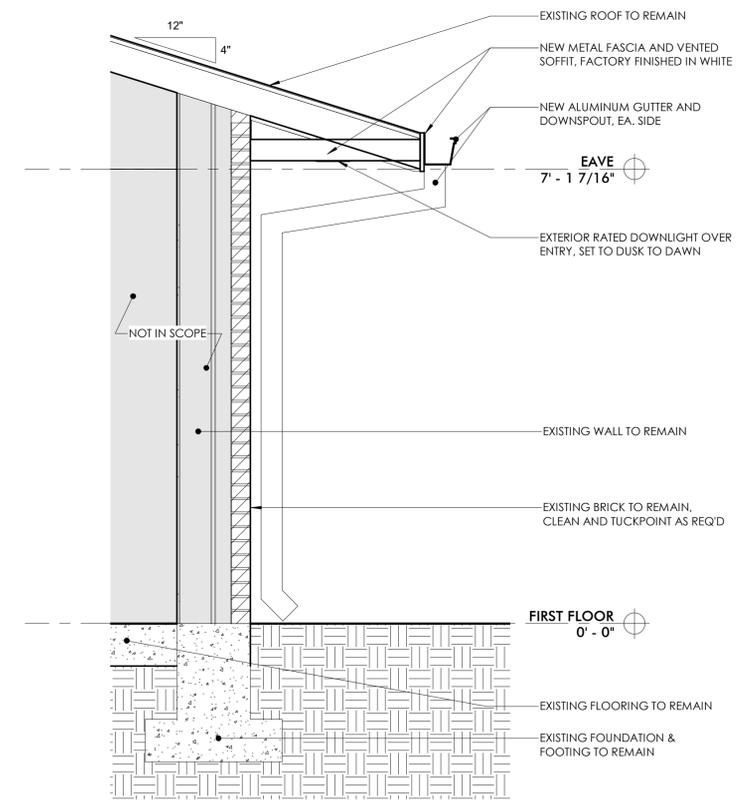
**A301**



**1 WALL SECTION**  
 A400 3/4" = 1'-0"



**2 WALL SECTION**  
 A400 3/4" = 1'-0"



**3 WALL SECTION**  
 A400 3/4" = 1'-0"

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WALL SECTIONS  
**A400**